

RAWLINGS LIBRARY RENOVATION

PUEBLO CITY-COUNTY LIBRARY DISTRICT

Board of Trustees Meeting

15 June 2021

AndersonMasonDale
Architects

HBM ARCHITECTS
INTERIOR DESIGNERS

AGENDA

Project Goals
Schedule and Budget
Final Design Review
Next Steps
Questions

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OVERARCHING PROJECT GOALS

- Respect the artistic, architectural, and poetic intent of the original design.
- Make the building flow seamlessly as a public library.
- Create distinct, legible spaces for the various collections.
- Leverage the NEH grant regarding historical treasures housed at the library.
- Develop an imaginative and engaging multi-generational family and children's experience.
- Be respectful of the project budget.

FUNCTIONAL PROJECT GOALS

- Improve vehicle and pedestrian access to the front door
- Develop an outdoor "park-like" venue
- Create an in-building drive-up book drop
- Provide an enhanced maker space
- Expand public meeting capacity
- Create an exhibit focus on Level 1
- Provide a barista-served café to activate Level 1
- Consolidate physical collections for all ages in the different wings of Level 2
- Upgrade Level 3 to reinforce Rawlings' archival commitment and local history focus
- Create an enhanced event space on Level 4 -- the pre-eminent venue in the city

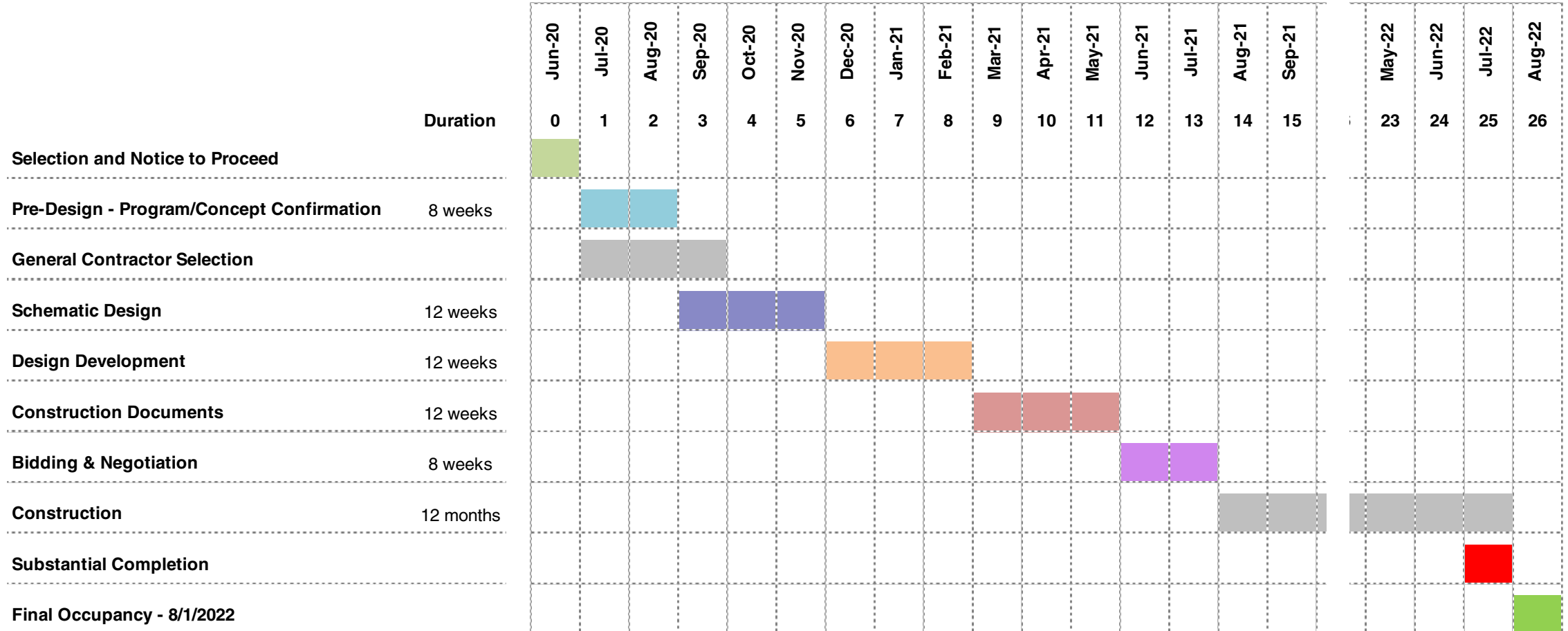
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SCHEDULE

DESIGN AND CONSTRUCTION SCHEDULE

Rawlings Library Renovation

Current Project Status
Completion of Construction Documents



With a 12-month Construction Phase, the work can be completed by August 2022

SAVINGS SUMMARY

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Total Owner Budget **\$11,000,000**
 Owner Construction Budget **\$7,197,129**

HWH Cost Estimate **\$9,315,717**
 Savings Required **\$2,118,588**

Savings Identified **\$2,103,234**
 (Construction + FF&E)

Additional Savings Required **\$15,354**

Cost Savings Log

Item #	Description	Savings Target
Sitework		
02.01.00	Reduce Large Stone Slabs by 50%	(\$ 19,040)
02.02.00	Reduce Medium Stone Slabs by 50%	(\$ 3,839)
02.03.00	Reduce Small Stone Slabs by 50%	(\$ 7,053)
02.04.00	Remove Stone Terraces at Under Bridge	(\$ 75,058)
Roofing		
07.01.00	Remove Metal Wall Panels on AHU Enclosure	(\$ 7,560)
Interiors		
08.01.00	Remove Wall Covering	(\$ 36,720)
08.02.00	Reduce Sound Absorbing Ceiling and Wall Panels	(\$ 21,600)
08.03.00	Use Alternate ADA Operators	(\$ 17,280)
08.04.00	Remove UV Window Film	(\$ 6,376)
08.05.00	Reuse Window Shades on Level 3 - 1,067 SF	(\$ 17,280)
08.08.00	Eliminate two Study Rooms on Level 1 East Wing	(\$ 47,185)
Description		
08.09.00	Leave all 3 Meeting Rooms on Level 1 East Wing as is (except for Technology)	(\$ 146,594)
08.10.00	Leave existing office space on Level 3 adjacent to vault as is	(\$ 36,544)
08.12.00	Use a \$40/sy installed carpet allowance for carpet tile 1A, 1B, 2, 5-8 and 9.	(\$ 29,711)
08.13.00	Make Level 4 an Alternate	(\$ 819,772)
08.14.00	Revised layout of Maker Space (Existing Mech. To Remain)	(\$ 31,320)
08.15.00	Level 2: Staff Restroom to be relocated closer to core	(\$ 16,084)
08.16.00	100% Ceiling Replacements in Holds 112	\$ 6,091
14 Electrical		
14.01.00	Reduce Dimming Function	(\$ 27,000)
14.02.00	Delete DALI Controls	(\$ 34,560)
14.03.00	Reduce number of Pendant Lights according to new layout (17)	(\$ 17,280)
14.04.00	Reduce number of P10 quantity in Level 4 Event Space by 17	(\$ 11,556)
14.05.00	Change type P10's to a linear in Level 4 Event Space	(\$ 14,040)
14.06.00	Reduce lighting in plaza to one light pole	(\$ 8,640)
14.07.00	Opt for 1 projection screen in Level 4 event space	(\$ 20,416)
14.08.00	Make screen carts future scope	(\$ 28,716)
14.09.00	Reduce well-equipped training/conference on Level 4 to simpler projector	(\$ 16,789)
Furniture, Shelving & Cabinetry		
FSC-1	Reduce Library Casework budget by 20%	(202,288)
FSC-6	Defer all new Office FF&E	(12,051)
FSC-9	Re-use and modify all shelving. Leaves \$100K budget	(284,185)
FSC-10	Defer 50% of Meeting Room Seating	(92,788)
Total Savings		(2,103,234)
Initial Estimate Delta to Budget		\$ 2,118,588
Remaining Savings Required (Contingency Available)		\$ 15,354



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SITE PLAN



MOBILITY PLAZA



CHILLER ENCLOSURE

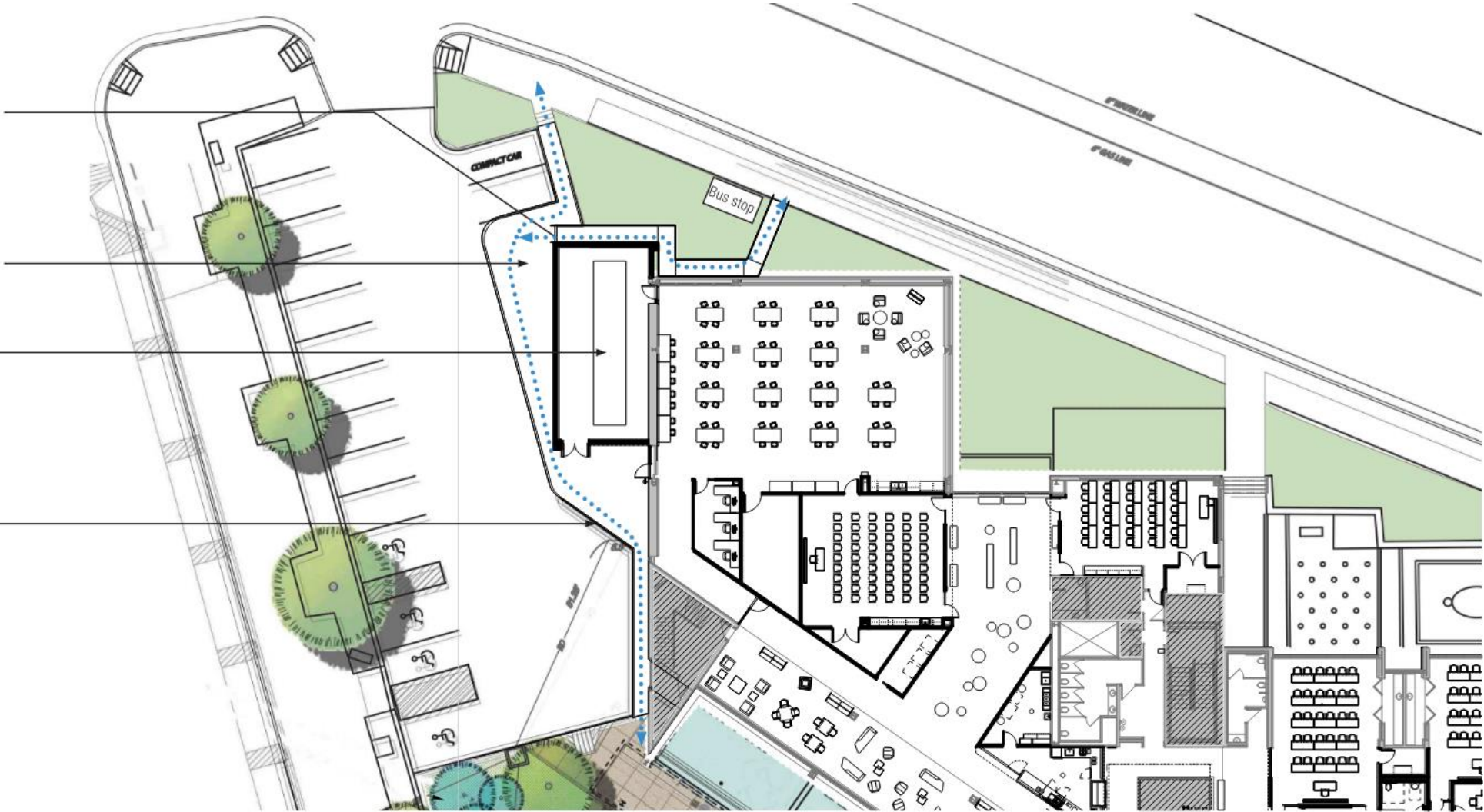
Re-route existing ramp with railing around new enclosure

Mechanical equipment enclosure; re-route existing concrete sidewalk around enclosure as shown

Chiller, re: mech:

Concrete curb

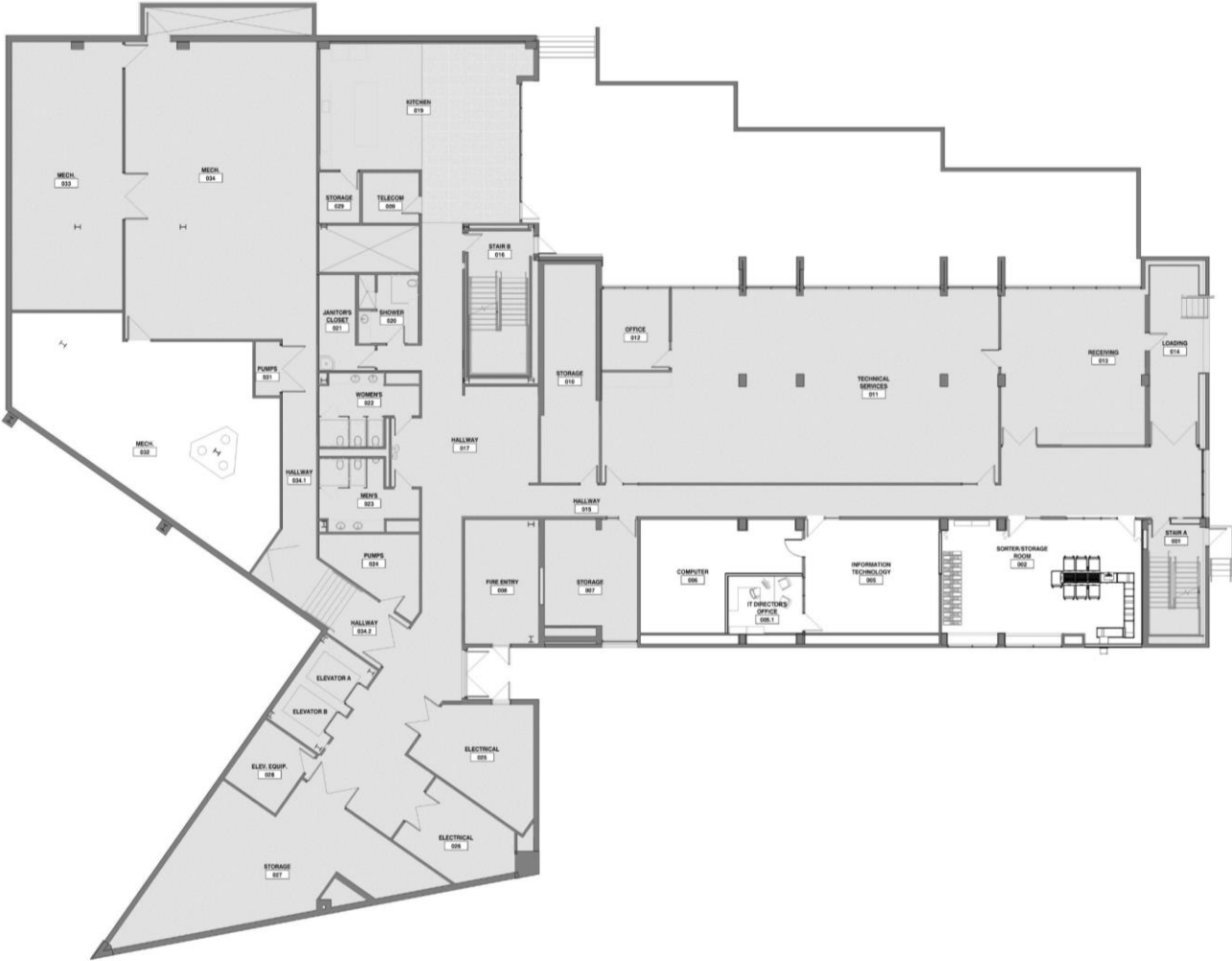
Pedestrian circulation



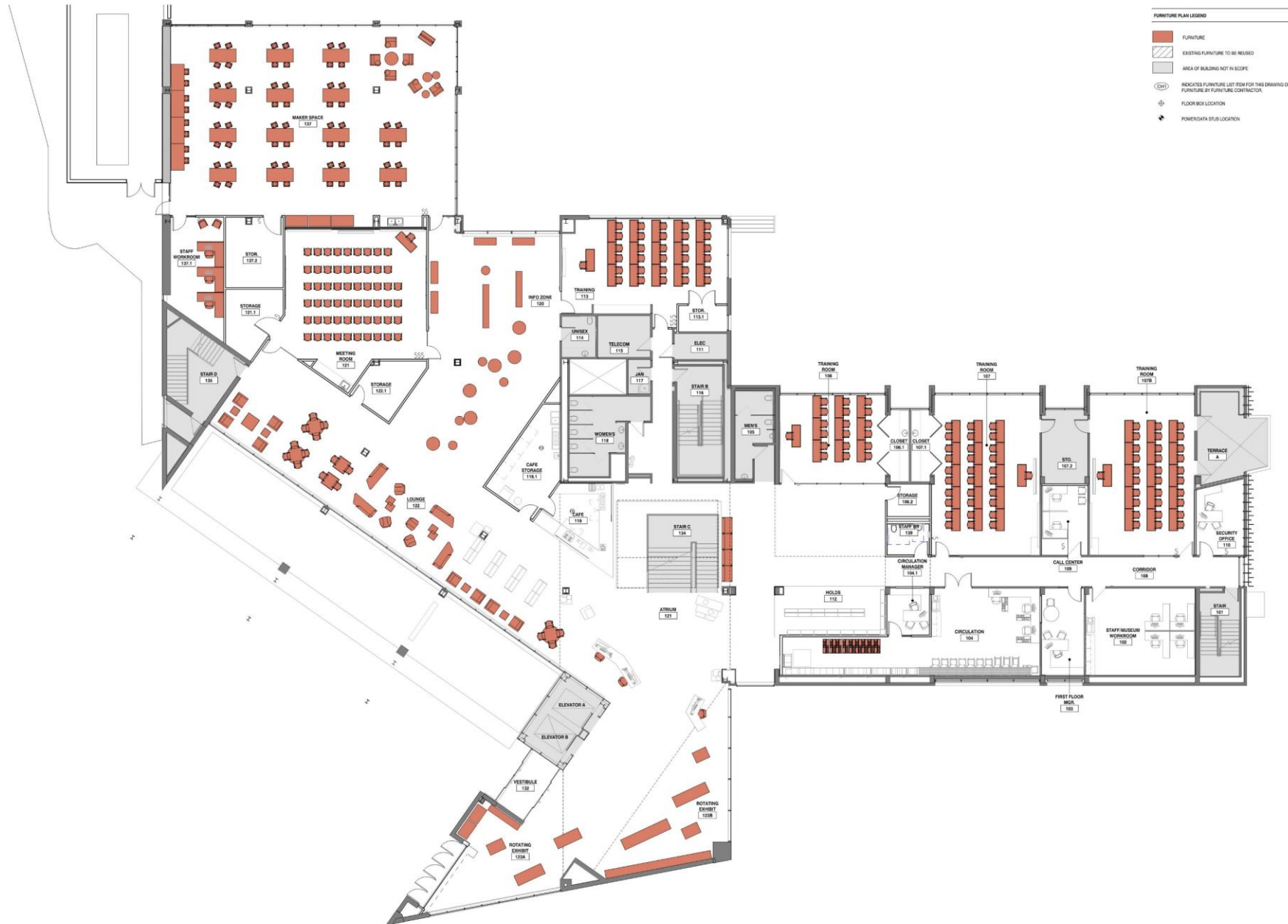
NEW CHILLER ENCLOSURE



LOWER LEVEL



LEVEL 1



LEVEL 1 ENTRY & ROTATING EXHIBITS



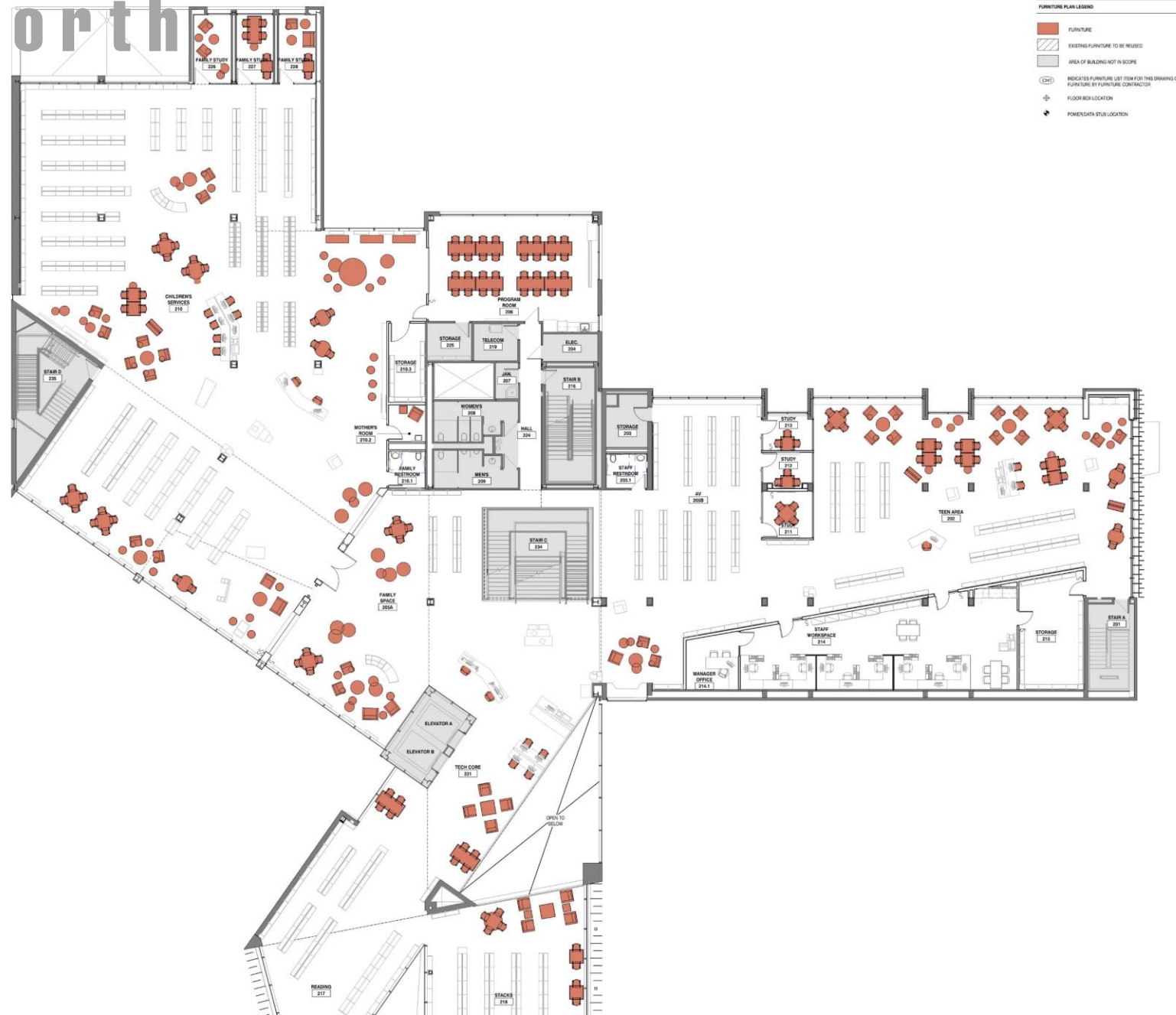
LEVEL 1 CAFE



INFOZONE LOOKING NORTH FROM CAFE



LEVEL 2 North



LEVEL 2 FAMILY SPACE LOOKING WEST



LEVEL 2 CHILDREN'S AREA



LEVEL 2 CHILDREN'S AREA SOUTHWEST



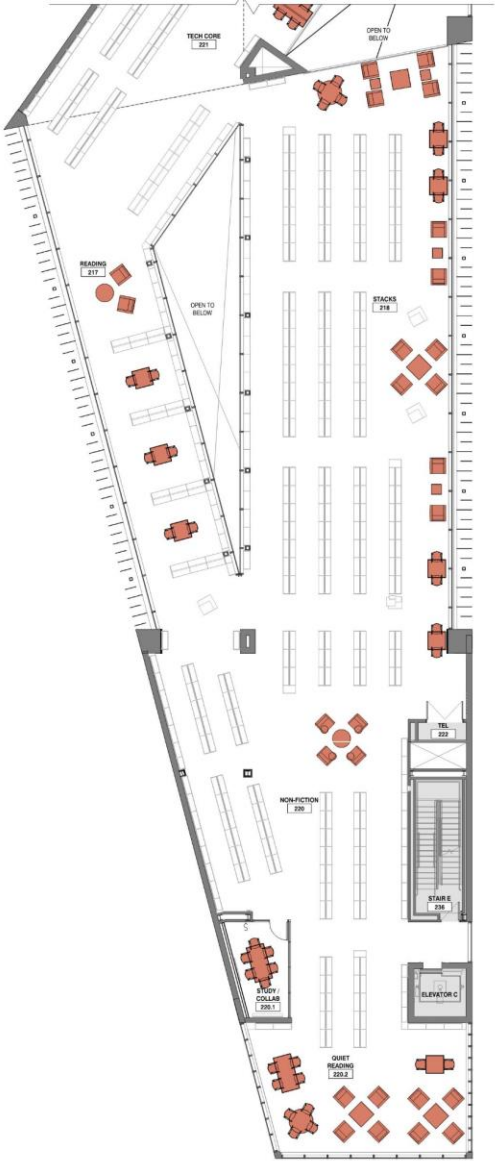
LEVEL 2 VIEW TOWARD TEEN AREA



LEVEL 2 STUDY ROOMS AT TEEN AREA



LEVEL 2 PLAN SOUTH



FURNITURE PLAN LEGEND	
	FURNITURE
	EXISTING FURNITURE TO BE REUSED
	AREA OF BUILDING NOT IN SCOPE
	INDICATES FURNITURE LIST ITEM FOR THIS DRAWING ONLY. FURNITURE BY FURNITURE CONTRACTOR
	FLOOR BOX LOCATION
	POWERSWITCH/STUB LOCATION



LEVEL 2 TECH CORE LOOKING SOUTH



LEVEL 2 FICTION COLLECTION LOOKING SOUTH



LEVEL 2 QUIET READING LOOKING SOUTH





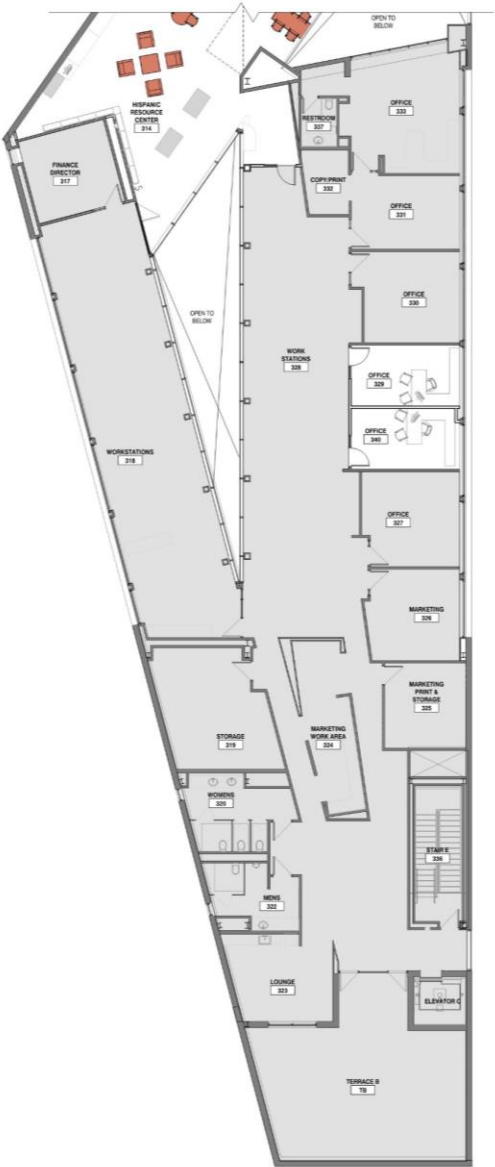
LEVEL 3 SPECIAL COLLECTIONS LOOKING WEST



LEVEL 3 HISPANIC RESOURCE CENTER



LEVEL 3 South



FURNITURE PLAN LEGEND	
	FURNITURE
	EXISTING FURNITURE TO BE REUSED
	AREA OF BUILDING NOT IN SCOPE
	INDICATES FURNITURE LIST ITEM FOR THIS DRAWING ONLY. FURNITURE BY FURNITURE CONTRACTOR.
	FLOOR BOX LOCATION
	POWER/DATA STUB LOCATION



LEVEL 4



LEVEL 4 PRE-FUNCTION



LEVEL 4

RYAL'S GRAND BALLROOM

LEVEL 4 BALLROOM LOOKING SOUTHEAST



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NEXT STEPS

- Receive Sub-contractor Bids – Early July 2021
 - Start Construction – Mid to Late July 2021
 - Complete Construction August 2022
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- Finalize Café Agreements and Design
 - Finalize Infozone Design
 - Children's Services Feature Exhibit
 - Bates Lane Vacation City Council Approval

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QUESTIONS



SITE PLAN

